



Stantec Consulting Services Inc.
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Sarasota FL 34240-8414
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April 10, 2019

Via: hand delivery

File: 215613985

Southwest Florida Water Management District
Environmental Resource Permit Bureau
Tampa Service Office
7601 Highway 301 North
Tampa, FL 33637-6759

Attn: Mirko Soko, P.E.
Professional Engineer

Reference: River Wilderness Phase IV Modification
Environmental Resource Permit Application No. 750110

Please find enclosed an original set of Drainage Record Drawings for River Wilderness Phase IV signed and sealed by the surveyor.

A scanned copy was uploaded to the SWFWMD e-permitting site on 4/9/2019, therefore we are delivering an original set to your office in order to meet compliance with Rule 5J-17.062.

Sincerely,

Stantec Consulting Services Inc.

Tyler Wilkinson, E.I.
Civil Engineer Intern

E-Mail: tyler.wilkinson@stantec.com

Design with community in mind

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TPA
Southwest Florida
Water Management District
APR 10 2019 2:25pm
Received HD
Sarasota RSB LMC
14079.006

DRAINAGE RECORD DRAWINGS FOR

RIVER WILDERNESS PHASE IV

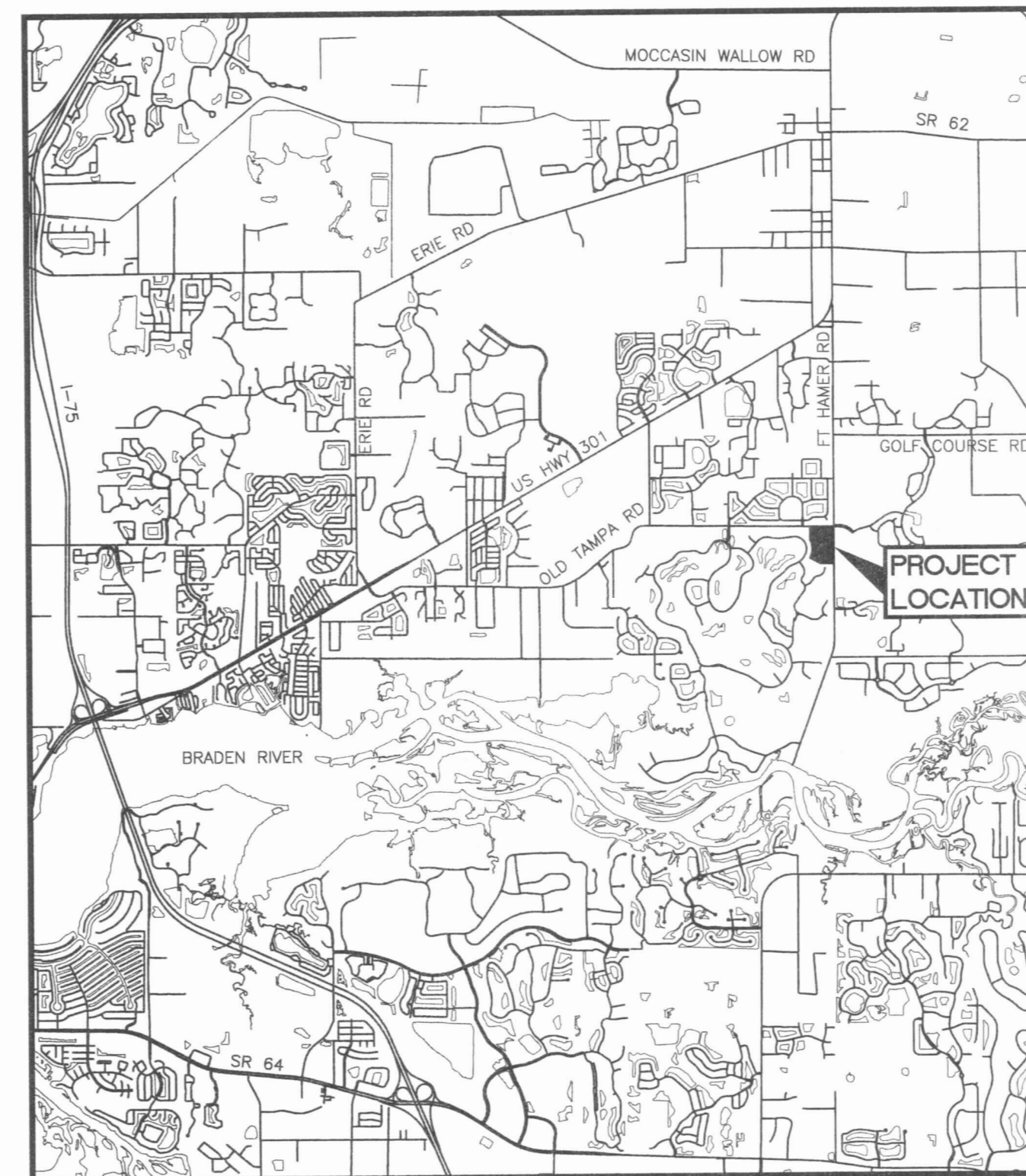
SUBDIVISION

NOTES

1. TOTAL SITE AREA IS 20.94 AC±
PROPOSED SITE COVERAGE:
 PROPOSED NUMBER OF SINGLE-FAMILY RESIDENTIAL UNITS IS 47 DU'S
 THE PROPOSED GROSS RESIDENTIAL DENSITY IS 2.24 DU/ACRE
 TOTAL WETLAND AREA = 2.21 AC
 TOTAL WETLAND BUFFER AREA = 0.45 AC
 TOTAL LAKE AREA (± NNL) = 4.31 AC
 TOTAL LANDSCAPE BUFFER AREA = 2.25 AC
 OTHER OPEN SPACE AREA = 1.65 AC
 OPEN SPACE AREA REQUIRED MINIMUM = 5.24 AC (25%)
 OPEN SPACE AREA PROVIDED = 8.79 AC (42%)
 NET RESIDENTIAL AREA = (20.94-2.21-0.45) = 18.28 AC
 NET DENSITY = 2.57 DU/AC
2. SWFWMD PROJECT AREA IS 18.79± AC
3. THIS SITE IS CURRENTLY VACANT.
4. FUTURE LAND USE IS UF-3.
5. THE SITE IS CURRENTLY ZONED PDR (PLANNED DEVELOPMENT RESIDENTIAL.)
6. TOPO AND TREE INFORMATION PROVIDED BY GEORGE F. YOUNG, INC. BASED ON SURVEY DATED 5/28/04.
7. TOPOGRAPHIC DATUM IS NGVD 29. THE NGVD 29 DATUM IS 0.955 FT HIGHER THAN THE NAVD 88 DATUM IN THE PROJECT AREA.
8. THIS SITE LIES WITHIN FLOOD ZONES "X" AND "A" AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR MANATEE COUNTY, COMMUNITY PANEL NO. 12081C0195E, MARCH 17, 2014.
9. ISOLATED WETLAND ON SITE WILL HAVE A 30' BUFFER.
10. THE EXISTING LAND USE IS VACANT. THERE ARE NO KNOWN STREETS, PLATS AND/OR HISTORIC SITES ON THE PROPERTY.
11. STORMWATER MANAGEMENT FACILITIES AND COMMON AREAS SHALL BE PRIVATELY MAINTAINED BY A HOMEOWNERS ASSOCIATION.
12. LOT SIZES/MINIMUM SETBACKS:
 SINGLE FAMILY DETACHED
 MIN WIDTH 55'
 MIN DEPTH 110'
 MIN SETBACKS:
 FRONT 25' TO GARAGE PORTION OF STRUCTURE
 20' TO STRUCTURES WITH SIDE LOADED GARAGES
 SIDE 5'
 REAR 15'
 ADDITIONAL SETBACK REQUIREMENTS:
 30' MIN SETBACK FROM LAKE NORMAL WATER LEVEL OR LIMITS OF JURISDICTIONAL WETLAND
 15' MIN SETBACK FROM WETLAND BUFFER MAY BE REDUCED TO 10' FOR LOTS 7 AND 8 PER PDR-05-02(P)
13. BUILDING HEIGHT: NOT TO EXCEED 35' MAXIMUM, EXCEPT PERIMETER LOTS #7, #27, & #28 WHERE LOWER BUILDING HEIGHTS ARE WARRANTED. BUILDING HEIGHTS TO COMPLY WITH LDC SECTION 403.12.D.3 (V).
14. THE PROJECT WILL BE CONSTRUCTED BETWEEN 2017 AND 2019.
15. ALL REQUIRED SITE IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 334.6, "INSTALLATION OF REQUIRED IMPROVEMENTS," OF THE MANATEE COUNTY LDC.
16. A STATEMENT OF SCHOOL NEEDS LETTER HAS BEEN SUBMITTED TO MANATEE COUNTY.
17. THE STORMWATER SYSTEM WILL BE CONSTRUCTED IN ACCORDANCE WITH MANATEE COUNTY LAND DEVELOPMENT CODE REQUIREMENTS AND CHAPTER 40-D FAC REQUIREMENTS.
18. WATER QUALITY TREATMENT WILL BE PROVIDED BY THE PROPOSED WET DETENTION LAKES.
19. NO STREET LIGHTING IS PROPOSED AT THIS TIME.
20. ALL PROPOSED SIGNAGE WILL BE IN ACCORDANCE WITH THE MANATEE COUNTY LAND DEVELOPMENT CODE AND WILL BE SUBMITTED WITH THE FINAL SITE PLAN.
21. THERE ARE NO KNOWN EXISTING DEED RESTRICTIONS OR COVENANTS WHICH WOULD AFFECT THE PROPOSED DEVELOPMENT.
22. ALL COMMON IMPROVEMENTS AND OPEN SPACE WILL BE MAINTAINED BY A HOMEOWNERS ASSOCIATION.
23. THE DEVELOPMENT SHALL ADHERE TO SECTION 701 OF THE MANATEE COUNTY LAND DEVELOPMENT CODE (LDC). LANDSCAPE AND BUFFER AREAS WILL BE PROVIDED IN ACCORDANCE WITH THE MANATEE COUNTY LDC.
24. ANY ONSITE TREES WHICH MUST BE REMOVED SHALL BE REPLACED OR TRANSPLANTED IN ACCORDANCE WITH THE MANATEE COUNTY LAND DEVELOPMENT CODE.
25. THERE ARE NO KNOWN WELLS ON SITE.
26. ALL LOCAL ROADS WILL BE CONSTRUCTED IN ACCORDANCE WITH THE MANATEE COUNTY LAND DEVELOPMENT CODE AND MANATEE COUNTY PUBLIC WORKS STANDARDS, AND MAINTAINED BY A HOME OWNERS ASSOCIATION.
27. FIRE HYDRANTS SHALL BE INSTALLED NO GREATER THAN 800 FEET APART THROUGHOUT THE PROPOSED DEVELOPMENT. A MINIMUM OF 1000 GPM OF FIRE FLOW WILL BE PROVIDED AT EACH HYDRANT.
28. ALL IRRIGATION SHALL USE THE LOWEST QUALITY WATER AVAILABLE WHICH ADEQUATELY AND SAFELY MEETS THE NEEDS OF THE SYSTEM. STORM WATER REUSE, RECLAIMED WATER USE, GREY WATER IRRIGATION SYSTEMS AND/ OR SHALLOW WELLS SHALL BE USED. THE USE OF POTABLE WATER FOR IRRIGATION WILL NOT BE ALLOWED.
29. SEWER AND POTABLE WATER SERVICE WILL BE PROVIDED THROUGH THE EXTENSION OF EXISTING COUNTY PUBLIC WORKS FACILITIES, AND COUNTY MAINTAINED.
30. ALL STATE AND FEDERAL PERMITS REQUIRED HAVE BEEN, OR WILL BE, APPLIED FOR BY THE OWNER OR HIS AGENT(S).
31. EXISTING RIGHTS-OF-WAYS AND EXISTING EASEMENTS ADJACENT TO THE PROJECT AREA ARE SHOWN ON THE PLANS.
32. THIS PROJECT HAS BEEN DESIGNED TO PROVIDE REASONABLE ASSURANCE THAT ALL APPLICABLE PERMITS CAN BE OBTAINED.
33. SOLID WASTE REMOVAL WILL BE PROVIDED BY WASTE MANAGEMENT OR WASTE PRO.
34. DRAINAGE AND UTILITY EASEMENTS WILL BE PROVIDED AS REQUIRED BY THE MANATEE COUNTY LAND DEVELOPMENT CODE.
35. A TEN (10) FOOT UTILITY EASEMENT ALONG THE FRONT LOT LINES AND FIVE (5) FOOT UTILITY EASEMENT ALONG SIDE AND REAR LOT LINES IS BEING PROVIDED. A 5' DRAINAGE ACCESS EASEMENT ALONG THE SIDE AND REAR LOT LINES FOR LOTS ADJACENT TO WETLANDS IS BEING PROVIDED.
36. ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE IN PLACE PRIOR TO CONSTRUCTION ACTIVITIES.
37. MANATEE COUNTY PUBLIC WORKS UTILITY STANDARDS ARE THE MINIMUM ALLOWABLE WATER AND/OR WASTEWATER CONSTRUCTION STANDARDS. WHERE ANY NOTE OR DETAIL ON THESE PLANS CONFLICT WITH THE MANATEE COUNTY PUBLIC WORKS UTILITY STANDARDS THE MORE STRINGENT INTERPRETATION, AS DETERMINED BY THE COUNTY INFRASTRUCTURE INSPECTOR, SHALL BE APPLIED.

PART OF SECTION 5, TOWNSHIP 34 SOUTH, RANGE 19 EAST,
MANATEE COUNTY, FLORIDA

A DEVELOPMENT BY
WEST COAST LAND PARTNERS, LLC
 6985 PROFESSIONAL PARKWAY EAST
 SARASOTA, FL 34240
 (941) 922-3480



LOCATION MAP

CERTIFICATION:
 I HEREBY CERTIFY THAT THE AS-BUILT MEASUREMENTS SHOWN HEREON ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS SURVEYED IN THE FIELD UNDER MY DIRECTION, TOGETHER WITH AS-BUILT MEASUREMENTS FROM MARKERS POSITIONED AND INFORMATION PROVIDED BY CONTRACTOR.
 DATE OF LAST FIELD MEASUREMENTS: 03/08/19

POINT BREAK SURVEYING, LLC
 CERTIFICATE OF AUTHORIZATION LB 0007384

8111 Blaikie Ct, Suite E
 Sarasota, FL 34240
 Office: 941-378-4797
 Fax: 941-378-0058

IMAGED AS IS



SHEET INDEX

SHEET NO.	DESCRIPTION	
1	COVER SHEET	
2	AERIAL SITE PLAN	
3	MASTER SITE PLAN	
4	MASTER PAVING AND GRADING PLAN	
5	MASTER DRAINAGE PLAN	
6	MASTER UTILITY PLAN AND PLAN AND PROFILE SHEET INDEX	
7-11	ROAD PLAN AND PROFILES	
12-13	PAVING AND GRADING DETAILS	
14-15	DRAINAGE DETAILS	
16-17	WASTEWATER COLLECTION CONSTRUCTION DETAILS	
18-19	LIFT STATION CONSTRUCTION DETAILS	
20-21	WATER DISTRIBUTION CONSTRUCTION DETAILS	
22	BEST MANAGEMENT PRACTICES PLAN	
23	BEST MANAGEMENT PRACTICES DETAILS	
SUPPLEMENTAL DRAWINGS:		
S1	BOUNDARY SURVEY FOR WEST COAST LAND PARTNERS, LLC	
LP-100	LANDSCAPE SHEET KEY PLAN	
LP-101	LANDSCAPE PLANTING PLAN	
LP-501	LANDSCAPE DETAILS	
LP-601	LANDSCAPE NOTES	
DENOTES SWFWMD SUBMITTAL		
▲	03/08/19 RECORD DRAWING	TER
▲	10/17/18 REVISED SHEET 4	MSC/98616
▲	8/24/18 REVISED PER 3-6, 11, 15 & 22	MSC/98616
▲	4/02/18 REVISED SHEET 5 & 15	RPC/116490
▲	3/28/18 REVISED SHEET 6	RPC/116490
▲	2/28/18 REVISED SHEETS 3, 4-5, 11, 12, 18-19 & NOTE 28	MSC/98616
▲	12/13/17 REVISED SHEETS 1-11	RPC/116490
▲	11/21/17 REVISED SHEETS 1, 3-11, 12, 15-16, 18 & 22	MSC/98616
▲	10/16/17 REVISED SHEETS 6-11, 16, 18	MSC/98616
NO.	DATE DESCRIPTION	BY
STATUS : REVISIONS		
PROJECT SURVEYOR ROBERT R. CUNNINGHAM, P.S.M.	PROJECT ENGINEER TYLER R. WILKINSON, EI	PROJECT MANAGER JOHN R. SCOTT, PE FLORIDA CERT. NO. 64689
DATE _____	CHECKED BY _____	
FOR		
<i>TPA</i> Southwest Florida Water Management District APR 10 2017 2:25 pm Received Sarasota RSP LMC 14079.006		
RESERVED FOR STATUS AND DATE STAMPS		
PROJECT NUMBER 215613985		INDEX NUMBER RECORD DRAINAGE COVER
DATE MAY 2017		

SCALE: 1" = 60'

TOPOGRAPHIC SYMBOL LEGEND

00.00BC	= BACK OF CURB	00.00GB	= GRADE BREAK
00.00BO	= BLOW-OFF	00.00GR	= GUARD RAIL
00.00BP	= BACKFLOW PREVENTER	00.00GS	= GAS FLAG
00.00BR	= BRICK/PAVING	00.00HW	= HEADWALL
00.00CC	= CENTER LINE	00.00IN	= INVERT OF PIPE
00.00CN	= CONCRETE EDGE	00.00IR	= IRRIGATION FLAG
00.00CP	= BIKE PATH/CART PATH	00.00MC	= MISCELLANEOUS
00.00DD	= DITCH CENTER	00.00PH	= PHONE FLAG
00.00DD	= UNDERDRAIN FLAG	00.00RE	= REUSE FLAG
00.00DW	= EDGE OF DRIVE	00.00RM	= RIM OF MANHOLE
00.00EC	= EDGE OF CONCRETE/WALK	00.00SC	= SWALE CENTER
00.00EG	= EXTRA SHOT	00.00SN	= SANITARY FLAG
00.00EL	= ELECTRIC FLAG	00.00ST	= STORM FLAG
00.00EP	= EDGE OF PAVEMENT	00.00SW	= EDGE OF CONCRETE/WALK
00.00ES	= EDGE OF SHELL/LIMEROCK	00.00TB	= TOP OF BANK
00.00EW	= EDGE OF WATER	00.00TG	= TOP OF GRATE
00.00FB	= FENCE, BARS WIRE	00.00TP	= TOP OF PIPE
00.00FC	= FENCE, CHAIN LINK	00.00TS	= TOE OF SLOPE
00.00FM	= FORCE MAIN FLAG	00.00TV	= CABLE TV FLAG
00.00FO	= FIBER OPTIC FLAG	00.00WU	= WALL/SEAWALL
00.00FW	= FENCE, WOOD	00.00WD	= WOOD DECK
00.00FF	= FINISH FLOOR	00.00WR	= WEIR
00.00FL	= FLOW LINE	00.00WS	= WATER SURFACE
		00.00WT	= WATER FLAG
		00.00	= GROUND ELEVATION

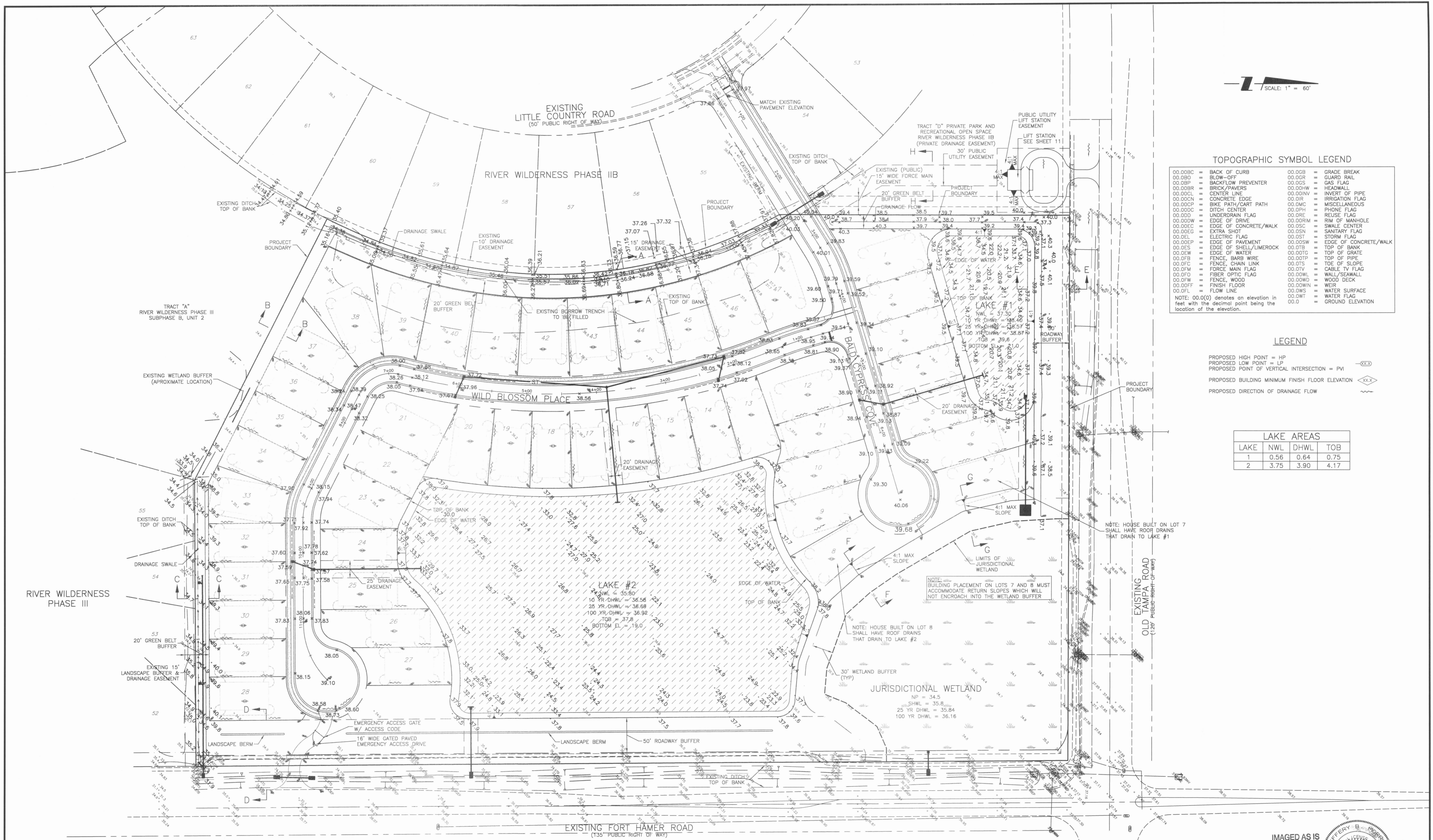
NOTE: 00.0(0) denotes an elevation in feet with the decimal point being the location of the elevation.

LEGEND

- PROPOSED HIGH POINT = HP
- PROPOSED LOW POINT = LP
- PROPOSED POINT OF VERTICAL INTERSECTION = PVI
- PROPOSED BUILDING MINIMUM FINISH FLOOR ELEVATION
- PROPOSED DIRECTION OF DRAINAGE FLOW

LAKE AREAS

LAKE	NWL	DHWL	TOB
1	0.56	0.64	0.75
2	3.75	3.90	4.17



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DATE OF LAST FIELD MEASUREMENTS: 03/08/19



REV NO.	REVISION	DATE	DRAWN BY / EMP. NO.	CHECKED BY / EMP. NO.
1	RECORD DRAWING	03/08/19	TER	

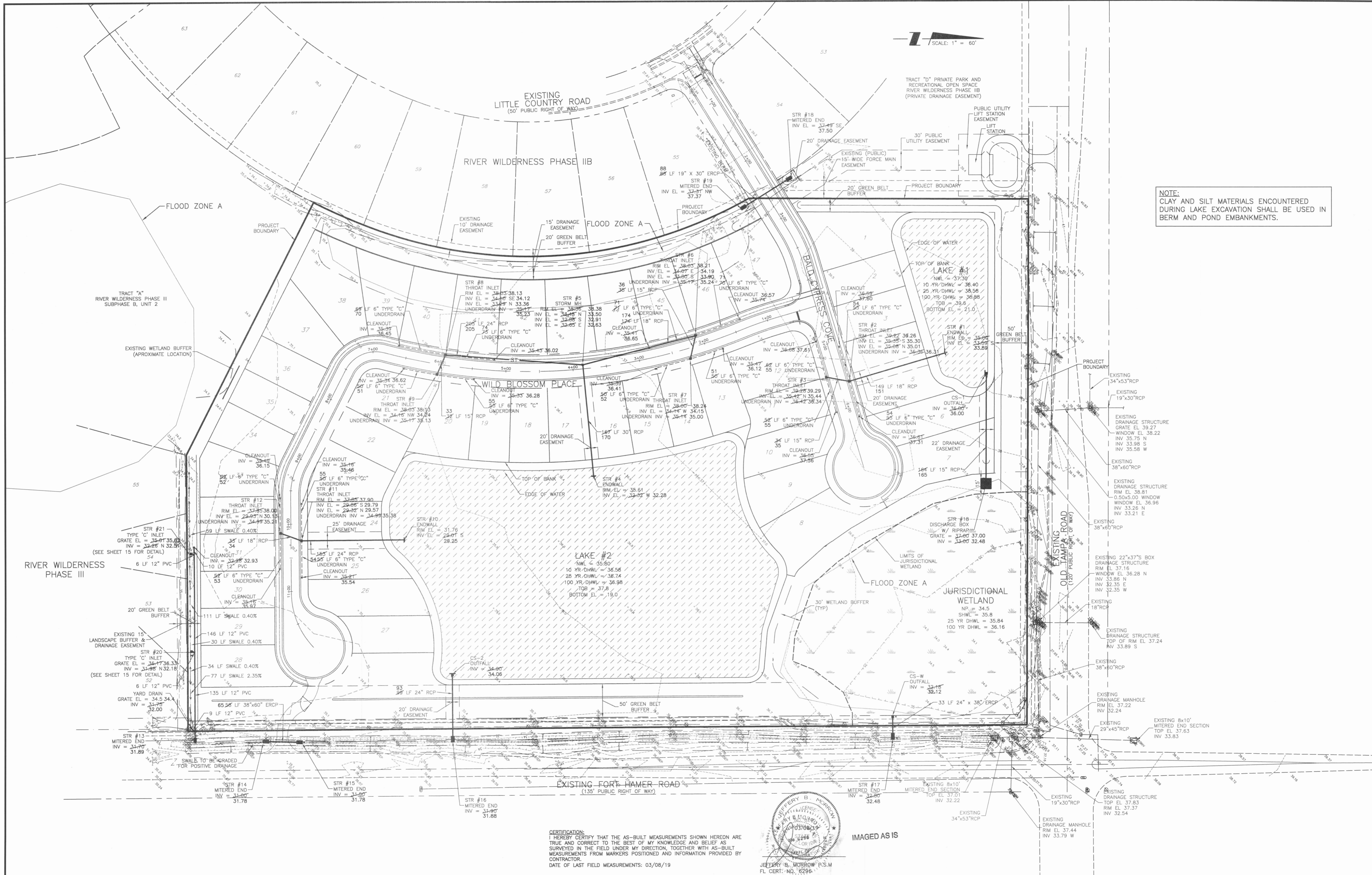
ACTIVITY	INITIALS/EMP. NO.	DATE
DESIGNED BY:	MSC/98816	06/2017
DRAWN BY:	MSC/98816	06/2017
CHECKED BY:		
CONTRACT ADMIN. BY:		
W/M APPROVED BY:		

POINT BREAK SURVEYING, LLC
 CERTIFICATE OF AUTHORIZATION LB 0007384
 8111 Blankie Ct, Suite E
 Sarasota, FL 34240
 Office: 941-378-4797
 Fax: 941-378-0058

CLIENT: WEST COAST LAND PARTNERS, LLC
 PROJECT: RIVER WILDERNESS PHASE IV

DATE	TITLE	INDEX NUMBER
06/2017	RECORD DRAWING MASTER PAVING AND GRADING PLAN	D-21561398519

VERTICAL SCALE: 1" = 60'
 CROSS REFERENCE FILE NO.: 5 34S 19E
 PROJECT NUMBER: 215613985
 SHEET NUMBER: 4 OF 23

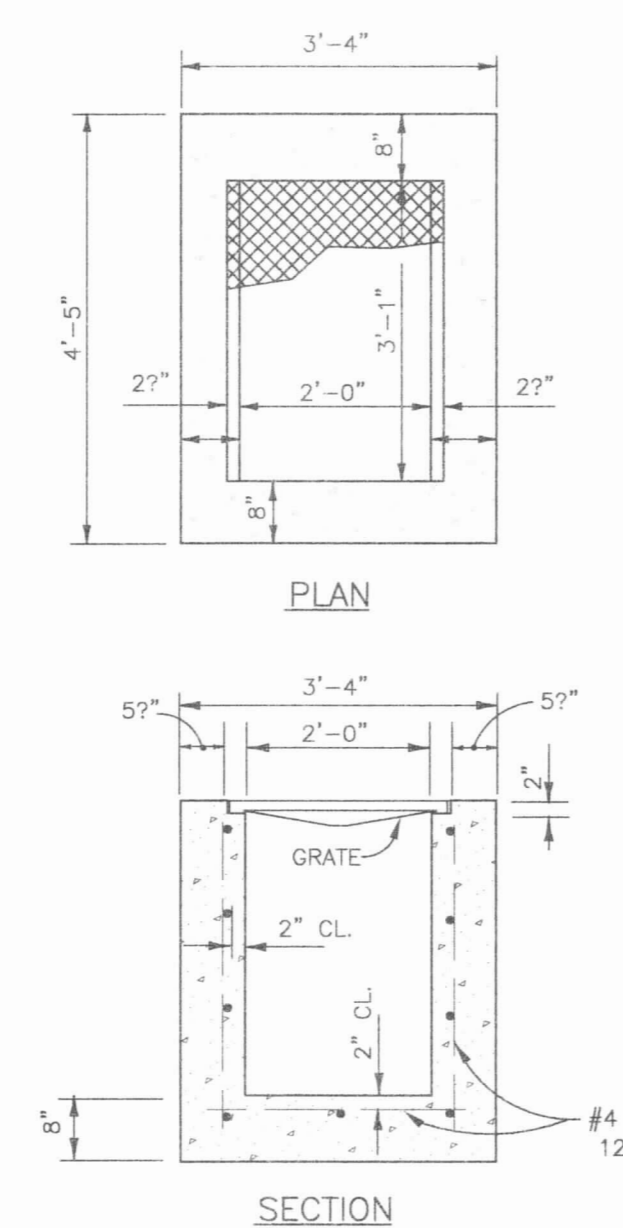
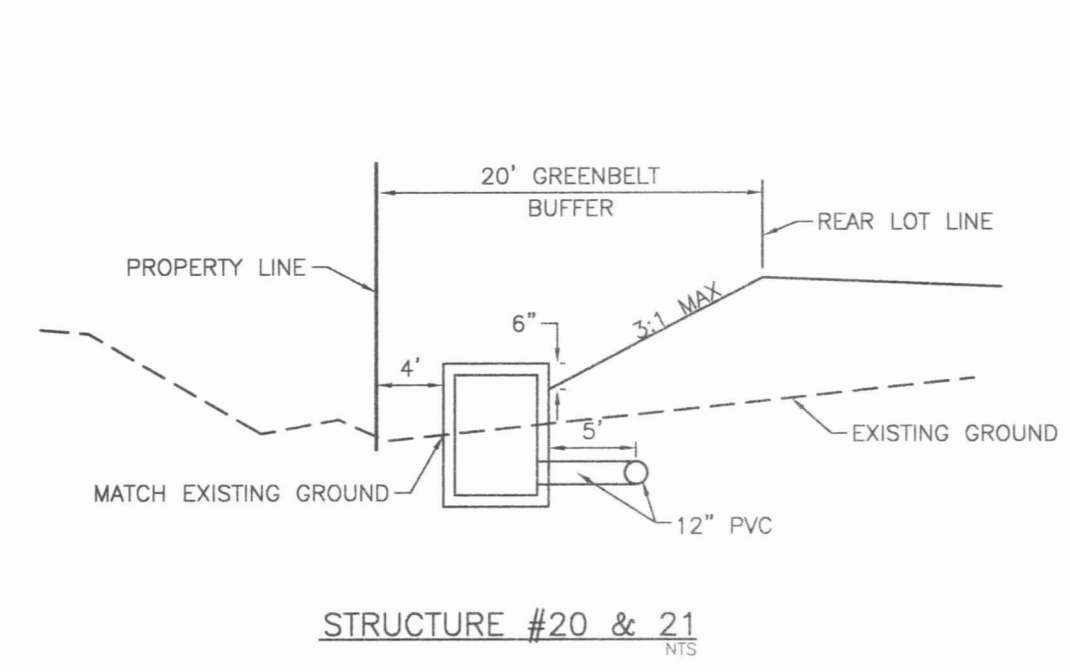


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 DATE OF LAST FIELD MEASUREMENTS: 03/08/19



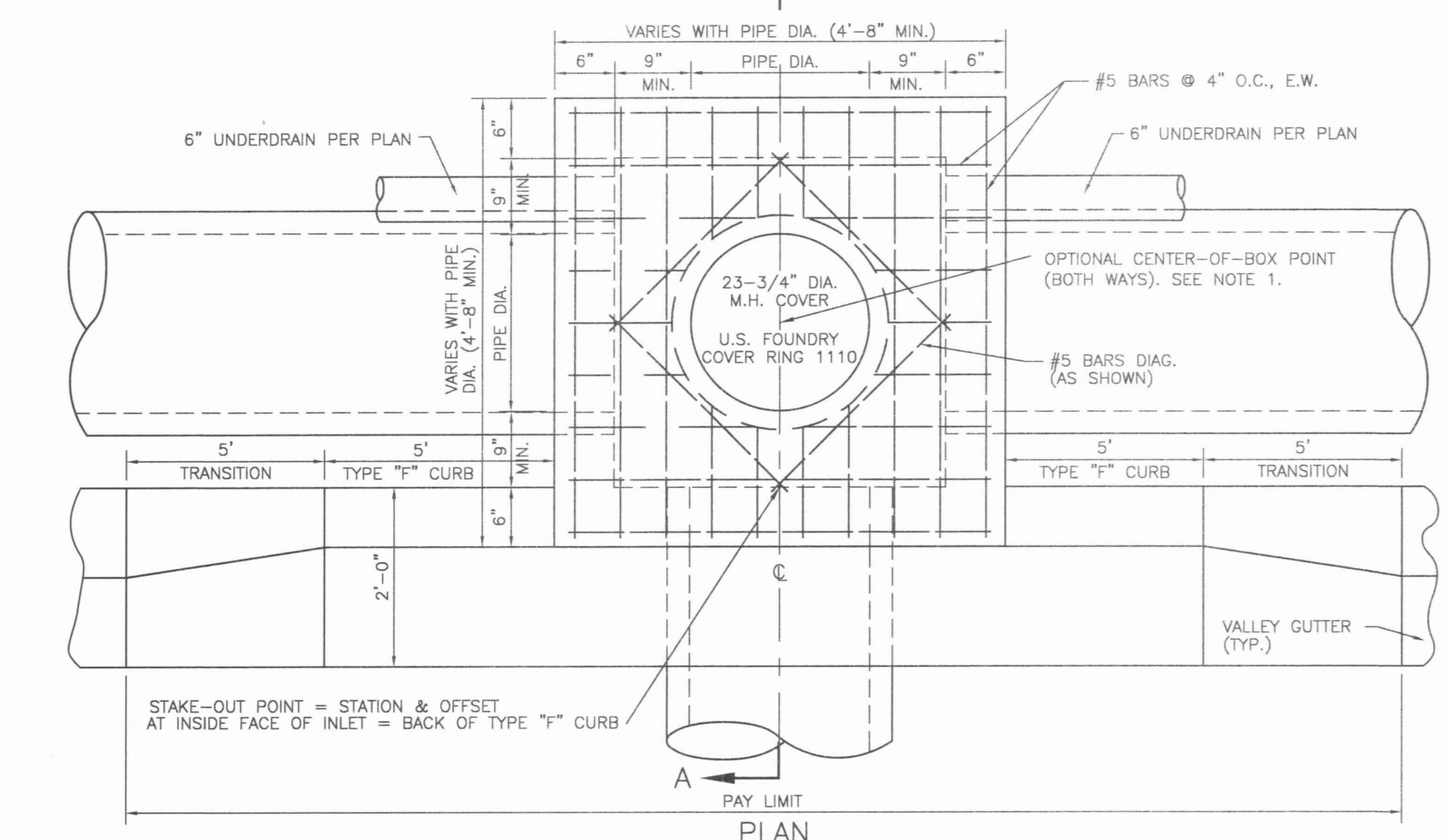
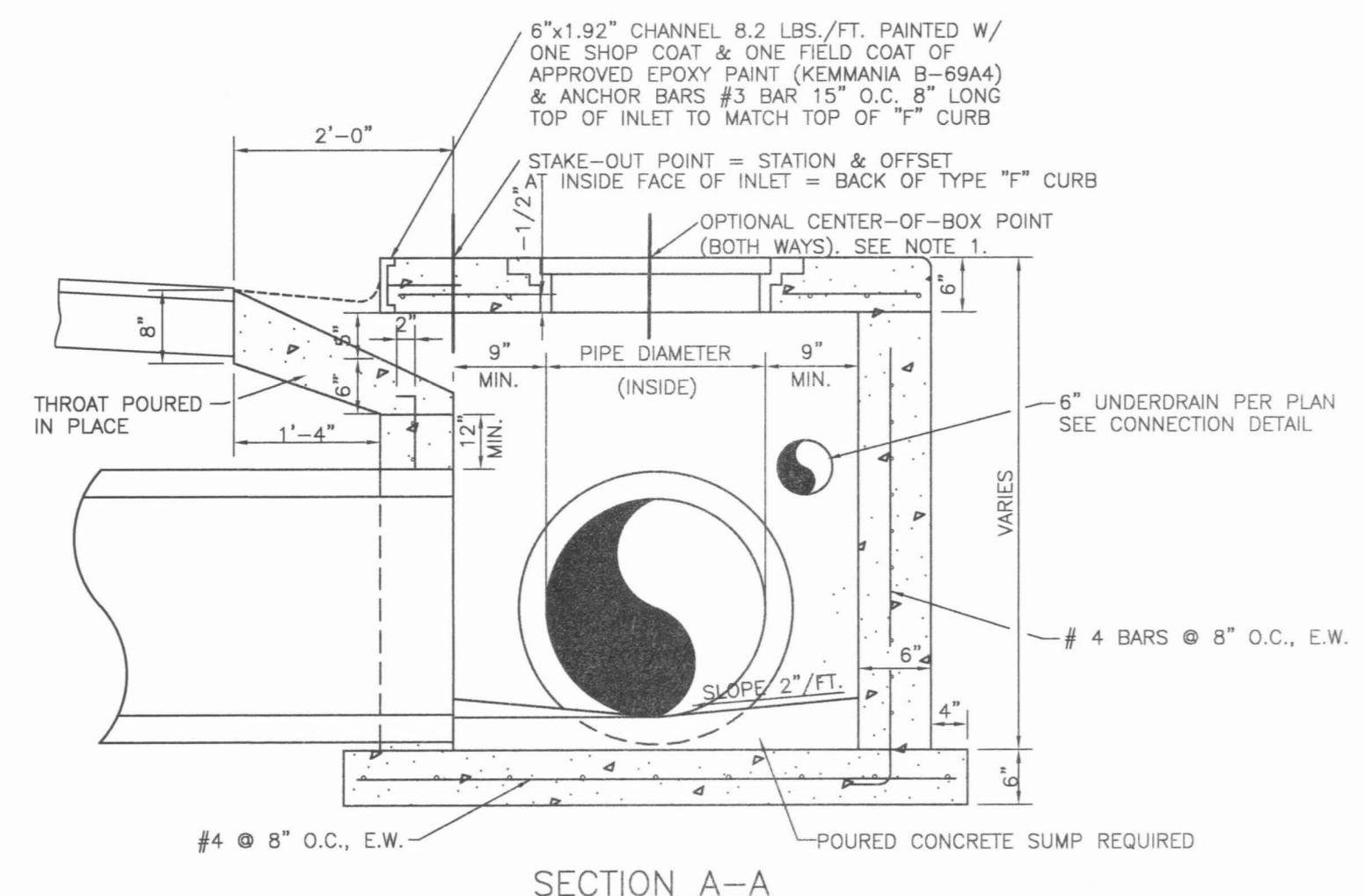
IMAGED AS IS

RECORD DRAWING		03/08/19	TER	ACTIVITY	INITIALS/EMP. NO.	DATE	POINT BREAK SURVEYING, LLC		CLIENT:	WEST COAST LAND PARTNERS, LLC	DATE:	06/2017	TITLE:	RECORD DRAWING MASTER DRAINAGE PLAN
F	REVISED CS-W	4/2/18	RPC/116490	DESIGNED BY:	MSC/98616	06/2017	CERTIFICATE OF AUTHORIZATION LB 0007384		PROJECT:	RIVER WILDERNESS PHASE IV	HORIZONTAL SCALE:	1" = 60'	INDEX NUMBER: RECORD-DRAINAGE-5	
D	ADDED WETLAND DHWL	1/9/18	MSC/98616	DRAWN BY:		06/2017	8111 Blakie Ct, Suite E Sarasota, FL 34240 Office 941-378-4787 Fax 941-378-0058				VERTICAL SCALE:	AS SHOWN	SHEET NUMBER: 5 OF 23	
C	REVISED STREET NAMES, DRAINAGE EASEMENT & 10 YR DHWL	12/13/17	RPC/116490	CHECKED BY:							SEC: TWP: RGE:	5 34S 19E	CROSS REFERENCE FILE NO.:	
B	REVISED STREET NAMES, LAKE DATA, CS-2 & STR #16. ADDED STR 18 & 19.	11/21/17	MSC/98616	CONTRACT ADMIN. BY:							PROJECT NUMBER:	215613985		
REV. NO.	REVISION	DATE	DRAWN BY / EMP. NO.	CHECKED BY / EMP. NO.	WM APPROVED BY:									



- NOTES**
- INLET SHALL HAVE 3" DIA. HOLE AT THE BOTTOM OF THE BOX CLEAR OF THE PIPE CONSTRUCTION, TO BE PLUGGED WHEN CONCRETE INVERT FORMED.
 - U.S.F. GRATE NO. 6606 (STEEL)
 - FRAME & GRATE SHALL BE OF STEEL CONSTRUCTION COATED WITH 2 APPLICATIONS OF BLACK ENAMEL, 4.0 MILS DRY FILM THICKNESS EACH COAT, 8 MILS TOTAL COATING SHALL MEET OR EXCEED FDOT SPECIFICATION 971-8. CONTRACTOR SHALL APPLY ONE FIELD COAT TO ANY BARE AREAS AS DETERMINED BY ENGINEER.
 - 3/4" CHAMFER ALL EXPOSED EDGES.
 - 3000 PSI CONCRETE @ 28 DAYS SHALL BE USED THROUGHOUT.
 - POURED CONCRETE INVERT AFTER INLET & PIPE PLACED IN GROUND, 3000 PSI @ 28 DAYS.
 - REINFORCING STEEL SHALL BE INTERMEDIATE GRADE BILLET WITH DEFORMATIONS CONFORMING TO ASTM A-615-76A. ALL STEEL SHALL BE 2" CLEAR UNLESS OTHERWISE NOTED.
 - THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF THE SKIMMER ASSEMBLY, FOR APPROVAL, PRIOR TO CONSTRUCTION.

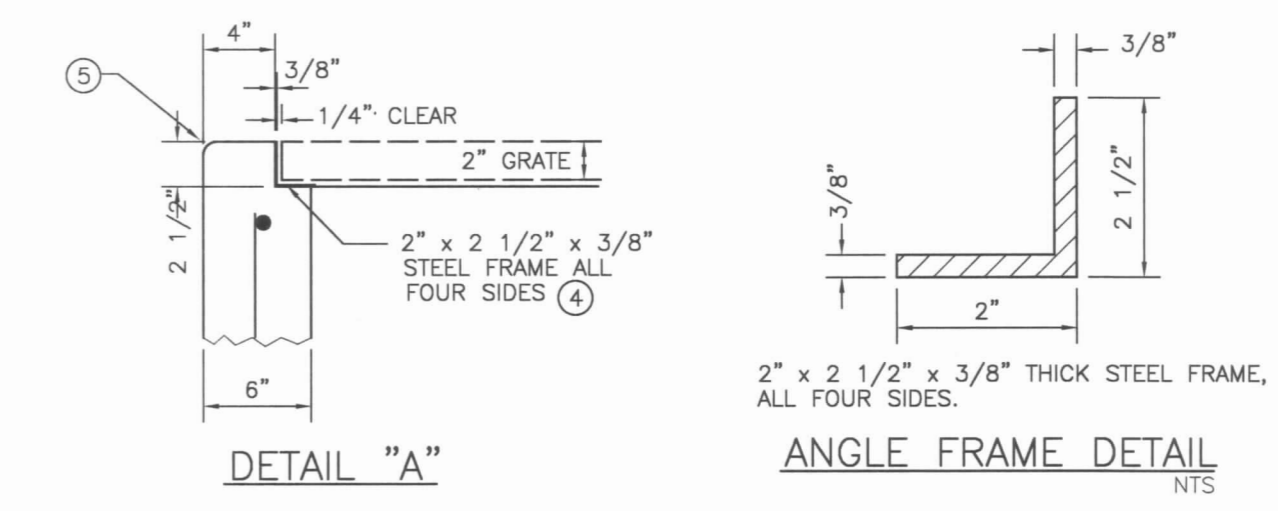
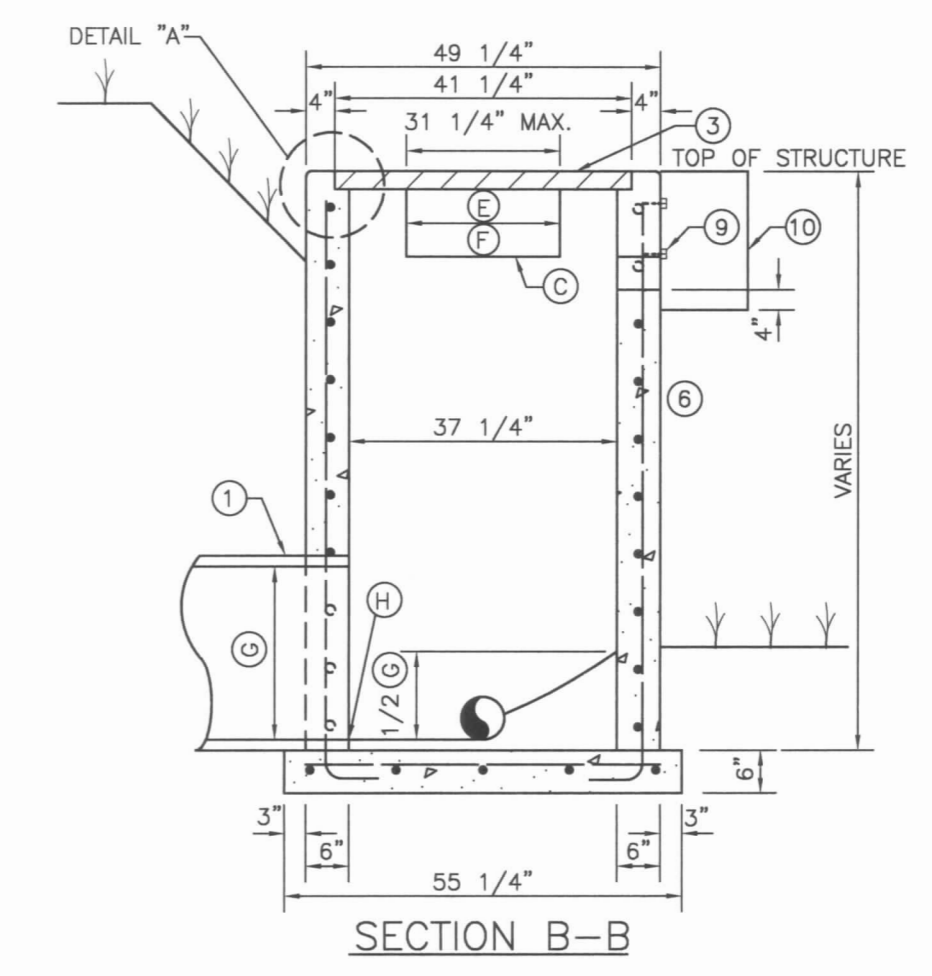
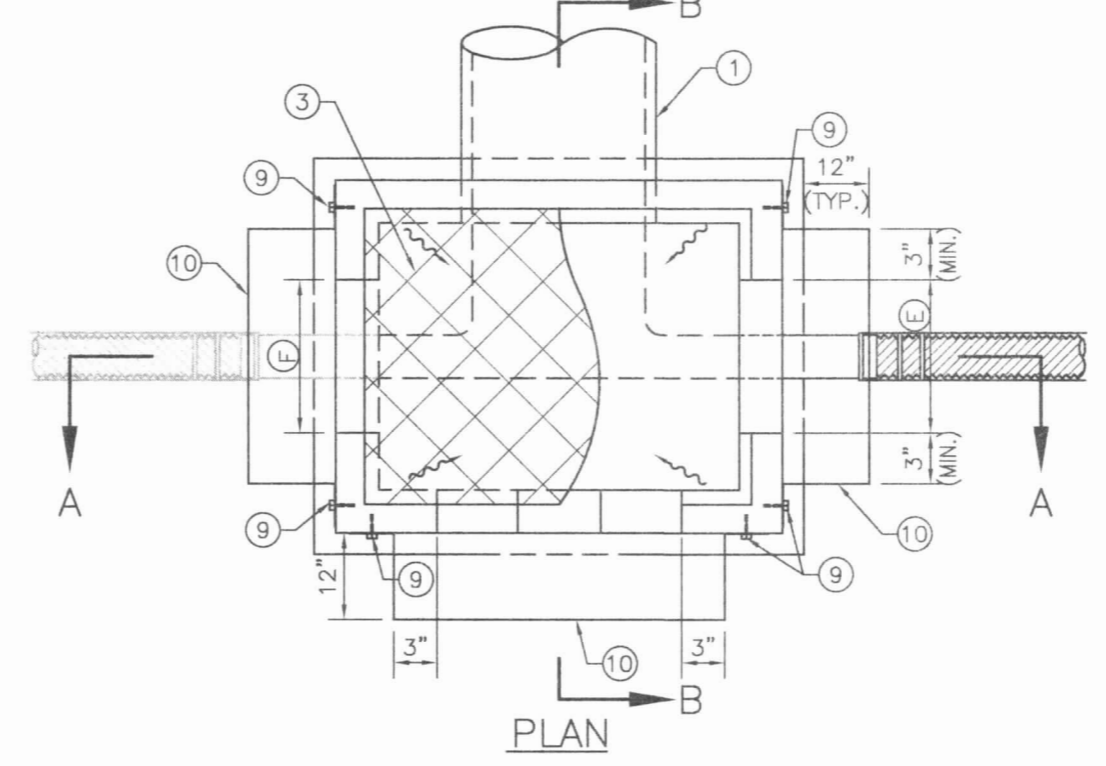
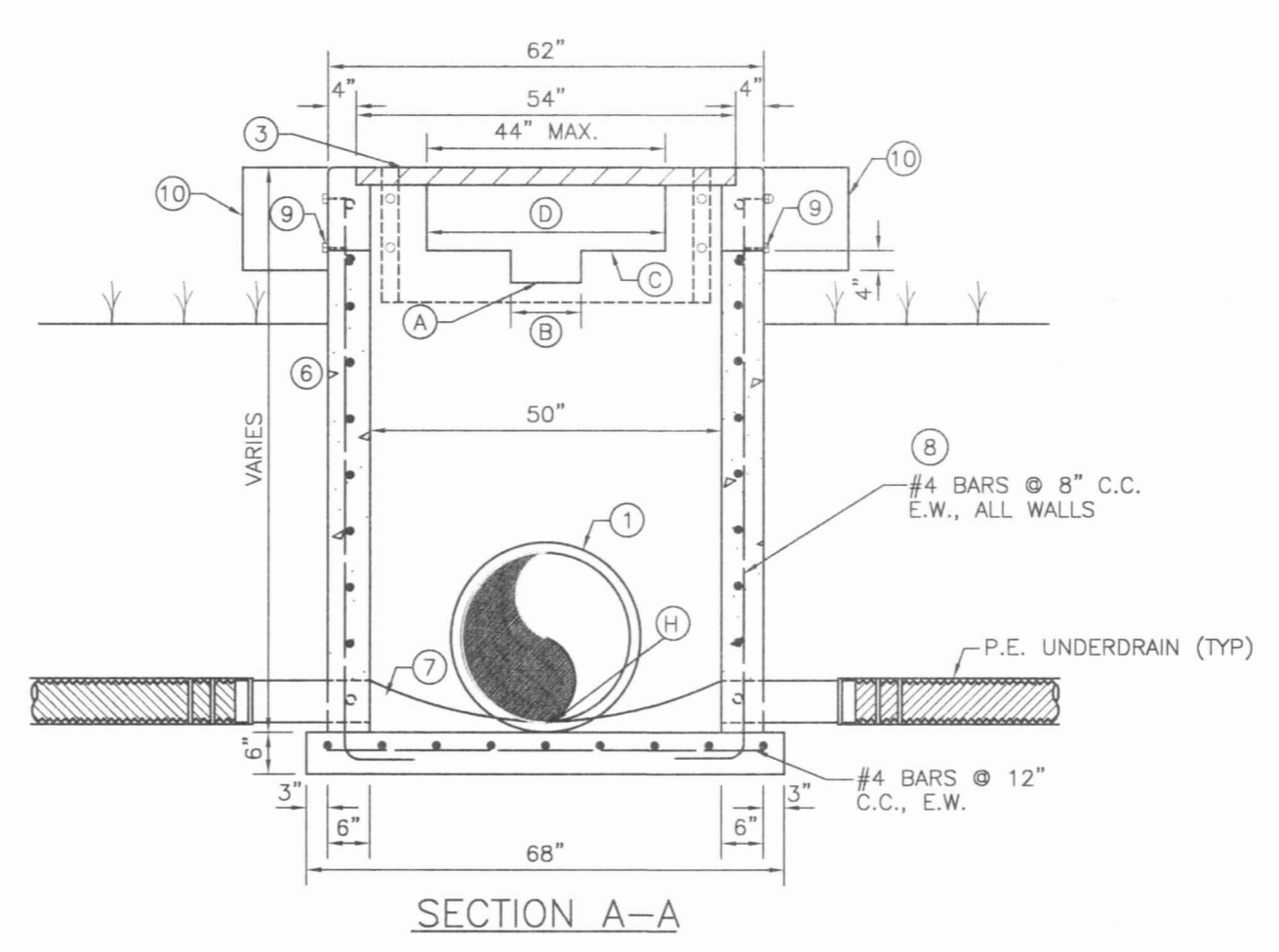
F.D.O.T. TYPE "C" INLET
S-0048(04/09/04) N.T.S.



- NOTES**
- CENTER OF STRUCTURE, BOTH WAYS, MAY BE ADDITIONALLY STAKED AT THE REQUEST OF THE CONTRACTOR OR AT THE DESCRETION OF THE SURVEYOR FOR THE PURPOSE OF PIPE ALIGNMENT.

STANDARD THROAT INLET DETAIL
(MAINTAINED)
S-0021(12/08/05) N.T.S.

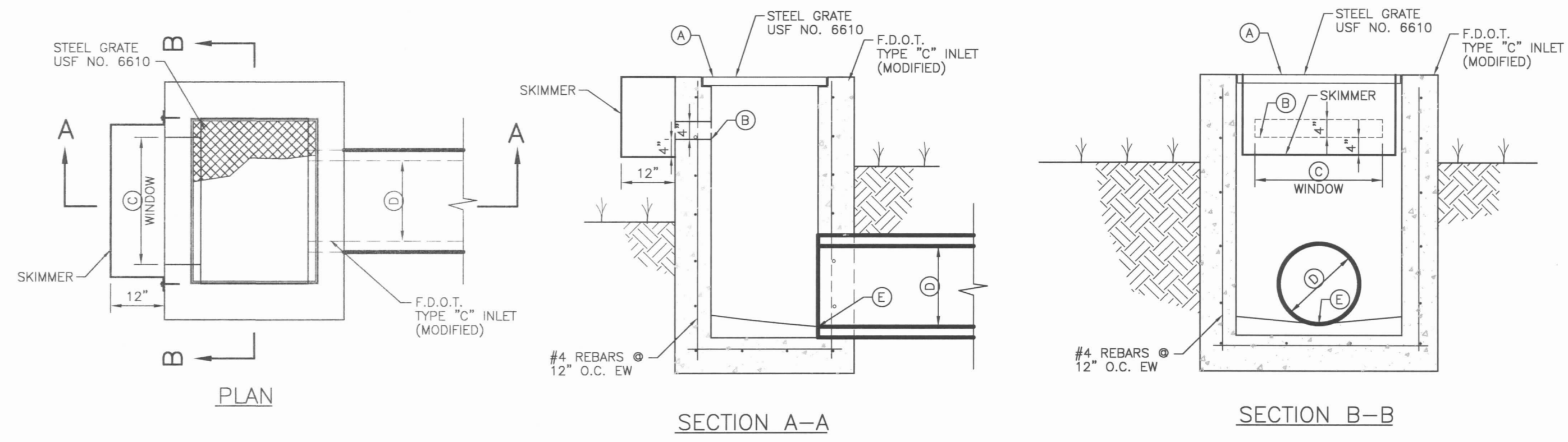
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DATE OF LAST FIELD MEASUREMENTS: 03/08/19



DATA TABLE

STRUCTURE NUMBER	NORMAL WATER LEVEL	TOP GRATE EL.	A FL. EL. OF NOTCH	B WIDTH OF NOTCH	C FL. EL. WINDOW	D WIDTH OF WINDOW	E WIDTH OF WINDOW	F WIDTH OF WINDOW	G DIAMETER OF OUTFALL PIPE	H PIPE FL. EL.	SPECIAL REMARKS
CS-W	34.5	35.73	34.5	3"	35.0	3' E&W	2'5" N	2'5" S	24" X 38"	32.12	NO SKIMMER REQUIRED

TYPE "G" CONTROL STRUCTURE
S-0020(02/02/09) N.T.S.



DATA TABLE

STRUCTURE NUMBER	A TOP GRATE ELEV (NGVD)	B FL ELEV WINDOW (NGVD)	C WIDTH OF WINDOW	D DIAMETER OF OUTFALL PIPE	E PIPE FL ELEV (NGVD)	SPECIAL REMARKS
CS-1	38.75	37.39	24" 24" WIDE 4" 4" TALL	18"	36.00	SKIMMER REQUIRED
CS-2	37.00	35.76	66" 66" WIDE 12" 12" TALL	24"	34.08	SKIMMER REQUIRED

- NOTES**
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 - FRAME & GRATE SHALL BE OF STEEL CONSTRUCTION COATED WITH 2 APPLICATIONS OF BLACK ENAMEL, 4.0 MILS DRY FILM THICKNESS EACH COAT, 8 MILS TOTAL COATING SHALL MEET OR EXCEED FDOT SPECIFICATION 971-8. CONTRACTOR SHALL APPLY ONE FIELD COAT TO ANY BARE AREAS AS DETERMINED BY ENGINEER.
 - 3/4" CHAMFER ALL EXPOSED EDGES.
 - 3000 PSI CONCRETE @ 28 DAYS SHALL BE USED THROUGHOUT.
 - REINFORCING STEEL SHALL BE INTERMEDIATE GRADE BILLET WITH DEFORMATIONS CONFORMING TO ASTM A-615-76A. ALL STEEL SHALL BE 2" CLEAR UNLESS OTHERWISE NOTED.
 - THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF THE SKIMMER ASSEMBLY, FOR APPROVAL, PRIOR TO CONSTRUCTION.
 - POUR CONCRETE INVERT AFTER INLET AND PIPES ARE SET IN PLACE

FDOT TYPE "C" CONTROL STRUCTURE
N.T.S.



POINT BREAK SURVEYING, LLC

CERTIFICATE OF AUTHORIZATION LB 0007384
8111 Blakie Ct, Suite E
Sarasota, FL 34240
Office: 941-378-4197
Fax: 941-378-0058

CLIENT: WEST COAST LAND PARTNERS, LLC
PROJECT: RIVER WILDERNESS PHASE IV

DATE: 06/2017
HORIZONTAL SCALE: AS SHOWN
VERTICAL SCALE:
CROSS REFERENCE FILE NO.:
PROJECT NUMBER: 215613985

TITLE: RECORD DRAWING DRAINAGE CONSTRUCTION DETAILS
INDEX NUMBER: RECORD-DRAINAGE-14-15
SHEET NUMBER: 15 OF 23

REVISION	DATE	BY / EMP. NO.	DESCRIPTION	ACTIVITY	INITIALS/EMP. NO.	DATE
G	03/08/19	TER	ADDED C INLET & STR 20 & 21 DETAIL.	DESIGNED BY:	MSC/98616	06/2017
F	08/7/18	MSC/98616	REVISED CS-W	DRAWN BY:		06/2017
B	4/2/18	RPC/116490	REVISED CS-1 & CS-2. ADDED TYPE C C.S.	CHECKED BY:		
	11/9/17	RPC/116490		CONTRACT ADMIN. BY:		

DRAINAGE RECORD DRAWINGS FOR RIVER WILDERNESS PHASE IV SUBDIVISION

NOTES

1. TOTAL SITE AREA IS 20.94 AC±
PROPOSED SITE COVERAGE:
PROPOSED NUMBER OF SINGLE-FAMILY RESIDENTIAL UNITS IS 47 DU'S
THE PROPOSED GROSS RESIDENTIAL DENSITY IS 2.24 DU/ACRE

TOTAL WETLAND AREA = 2.21 AC
TOTAL WETLAND BUFFER AREA = 0.45 AC
TOTAL LAKE AREA (Ø NWL) = 4.31 AC
TOTAL LANDSCAPE BUFFER AREA = 2.25 AC
OTHER OPEN SPACE AREA = 1.65 AC

OPEN SPACE AREA REQUIRED MINIMUM = 5.24 AC (25%)
OPEN SPACE AREA PROVIDED = 8.79 AC (42%)

NET RESIDENTIAL AREA = (20.94-2.21-0.45) = 18.28 AC
NET DENSITY = 2.57 DU/AC
2. SWFWMD PROJECT AREA IS 18.79± AC
3. THIS SITE IS CURRENTLY VACANT.
4. FUTURE LAND USE IS UF-3.
5. THE SITE IS CURRENTLY ZONED PDR (PLANNED DEVELOPMENT RESIDENTIAL.)
6. TOPO AND TREE INFORMATION PROVIDED BY GEORGE F. YOUNG, INC. BASED ON SURVEY DATED 5/28/04.
7. TOPOGRAPHIC DATUM IS NGVD 29. THE NGVD 29 DATUM IS 0.955 FT HIGHER THAN THE NAVD 88 DATUM IN THE PROJECT AREA.
8. THIS SITE LIES WITHIN FLOOD ZONES "X" AND "A" AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR MANATEE COUNTY, COMMUNITY PANEL NO. 12081C0195E, MARCH 17, 2014.
9. ISOLATED WETLAND ON SITE WILL HAVE A 30' BUFFER.
10. THE EXISTING LAND USE IS VACANT. THERE ARE NO KNOWN STREETS, PLATS AND/OR HISTORIC SITES ON THE PROPERTY.
11. STORMWATER MANAGEMENT FACILITIES AND COMMON AREAS SHALL BE PRIVATELY MAINTAINED BY A HOMEOWNERS ASSOCIATION.
12. LOT SIZES/MINIMUM SETBACKS:
SINGLE FAMILY DETACHED

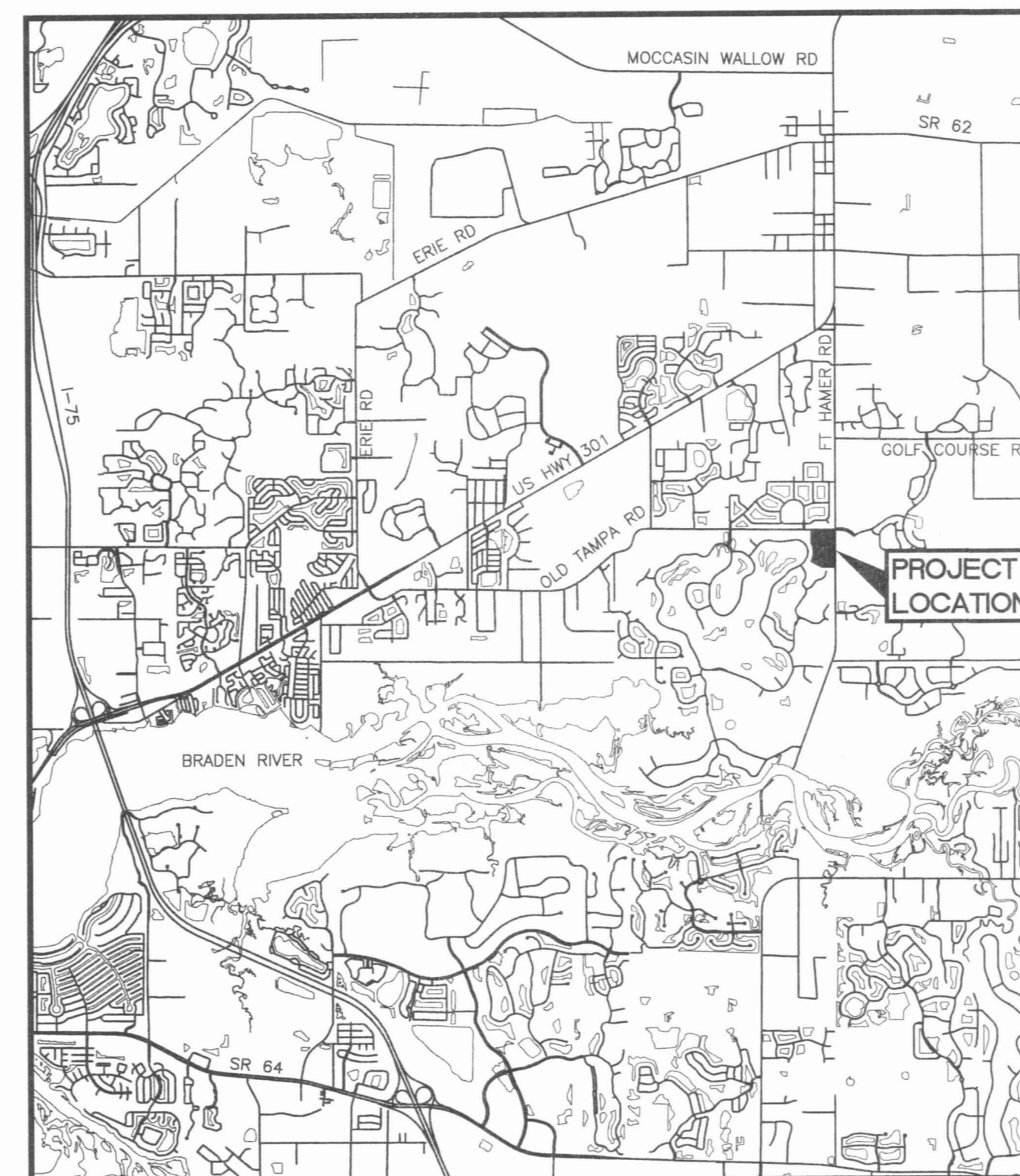
MIN WIDTH 55'
MIN DEPTH 110'

MIN SETBACKS:
FRONT 25' TO GARAGE PORTION OF STRUCTURE
20' TO STRUCTURES WITH SIDE LOADED GARAGES
SIDE 5'
REAR 15'

ADDITIONAL SETBACK REQUIREMENTS:
30' MIN SETBACK FROM LAKE NORMAL WATER LEVEL OR LIMITS OF JURISDICTIONAL WETLAND
15' MIN SETBACK FROM WETLAND BUFFER MAY BE REDUCED TO 10' FOR LOTS 7 AND 8 PER PDR-05-02(P)
13. BUILDING HEIGHT: NOT TO EXCEED 35' MAXIMUM, EXCEPT PERIMETER LOTS #7, #27, & #28 WHERE LOWER BUILDING HEIGHTS ARE WARRANTED. BUILDING HEIGHTS TO COMPLY WITH LDC SECTION 403.12.D.3 (V).
14. THE PROJECT WILL BE CONSTRUCTED BETWEEN 2017 AND 2019.
15. ALL REQUIRED SITE IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 334.6, "INSTALLATION OF REQUIRED IMPROVEMENTS," OF THE MANATEE COUNTY LDC.
16. A STATEMENT OF SCHOOL NEEDS LETTER HAS BEEN SUBMITTED TO MANATEE COUNTY.
17. THE STORMWATER SYSTEM WILL BE CONSTRUCTED IN ACCORDANCE WITH MANATEE COUNTY LAND DEVELOPMENT CODE REQUIREMENTS AND CHAPTER 40-D FAC REQUIREMENTS.
18. WATER QUALITY TREATMENT WILL BE PROVIDED BY THE PROPOSED WET DETENTION LAKES.
19. NO STREET LIGHTING IS PROPOSED AT THIS TIME.
20. ALL PROPOSED SIGNAGE WILL BE IN ACCORDANCE WITH THE MANATEE COUNTY LAND DEVELOPMENT CODE AND WILL BE SUBMITTED WITH THE FINAL SITE PLAN.
21. THERE ARE NO KNOWN EXISTING DEED RESTRICTIONS OR COVENANTS WHICH WOULD AFFECT THE PROPOSED DEVELOPMENT.
22. ALL COMMON IMPROVEMENTS AND OPEN SPACE WILL BE MAINTAINED BY A HOMEOWNERS ASSOCIATION.
23. THE DEVELOPMENT SHALL ADHERE TO SECTION 701 OF THE MANATEE COUNTY LAND DEVELOPMENT CODE (LDC). LANDSCAPE AND BUFFER AREAS WILL BE PROVIDED IN ACCORDANCE WITH THE MANATEE COUNTY LDC.
24. ANY ONSITE TREES WHICH MUST BE REMOVED SHALL BE REPLACED OR TRANSPLANTED IN ACCORDANCE WITH THE MANATEE COUNTY LAND DEVELOPMENT CODE.
25. THERE ARE NO KNOWN WELLS ON SITE.
26. ALL LOCAL ROADS WILL BE CONSTRUCTED IN ACCORDANCE WITH THE MANATEE COUNTY LAND DEVELOPMENT CODE AND MANATEE COUNTY PUBLIC WORKS STANDARDS, AND MAINTAINED BY A HOME OWNERS ASSOCIATION.
27. FIRE HYDRANTS SHALL BE INSTALLED NO GREATER THAN 800 FEET APART THROUGHOUT THE PROPOSED DEVELOPMENT. A MINIMUM OF 1000 GPM OF FIRE FLOW WILL BE PROVIDED AT EACH HYDRANT.
28. ALL IRRIGATION SHALL USE THE LOWEST QUALITY WATER AVAILABLE WHICH ADEQUATELY AND SAFELY MEETS THE NEEDS OF THE SYSTEM. STORM WATER REUSE, RECLAIMED WATER USE, GREY WATER IRRIGATION SYSTEMS AND/OR SHALLOW WELLS SHALL BE USED. THE USE OF POTABLE WATER FOR IRRIGATION WILL NOT BE ALLOWED.
29. SEWER AND POTABLE WATER SERVICE WILL BE PROVIDED THROUGH THE EXTENSION OF EXISTING COUNTY PUBLIC WORKS FACILITIES, AND COUNTY MAINTAINED.
30. ALL STATE AND FEDERAL PERMITS REQUIRED HAVE BEEN, OR WILL BE, APPLIED FOR BY THE OWNER OR HIS AGENT(S).
31. EXISTING RIGHTS-OF-WAYS AND EXISTING EASEMENTS ADJACENT TO THE PROJECT AREA ARE SHOWN ON THE PLANS.
32. THIS PROJECT HAS BEEN DESIGNED TO PROVIDE REASONABLE ASSURANCE THAT ALL APPLICABLE PERMITS CAN BE OBTAINED.
33. SOLID WASTE REMOVAL WILL BE PROVIDED BY WASTE MANAGEMENT OR WASTE PRO.
34. DRAINAGE AND UTILITY EASEMENTS WILL BE PROVIDED AS REQUIRED BY THE MANATEE COUNTY LAND DEVELOPMENT CODE.
35. A TEN (10) FOOT UTILITY EASEMENT ALONG THE FRONT LOT LINES AND FIVE (5) FOOT UTILITY EASEMENT ALONG SIDE AND REAR LOT LINES IS BEING PROVIDED. A 5' DRAINAGE ACCESS EASEMENT ALONG THE SIDE AND REAR LOT LINES FOR LOTS ADJACENT TO WETLANDS IS BEING PROVIDED.
36. ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE IN PLACE PRIOR TO CONSTRUCTION ACTIVITIES.
37. MANATEE COUNTY PUBLIC WORKS UTILITY STANDARDS ARE THE MINIMUM ALLOWABLE WATER AND/OR WASTEWATER CONSTRUCTION STANDARDS. WHERE ANY NOTE OR DETAIL ON THESE PLANS CONFLICT WITH THE MANATEE COUNTY PUBLIC WORKS UTILITY STANDARDS, THE MORE STRINGENT INTERPRETATION, AS DETERMINED BY THE COUNTY INFRASTRUCTURE INSPECTOR, SHALL BE APPLIED.

PART OF SECTION 5, TOWNSHIP 34 SOUTH, RANGE 19 EAST,
MANATEE COUNTY, FLORIDA

A DEVELOPMENT BY
WEST COAST LAND PARTNERS, LLC
6985 PROFESSIONAL PARKWAY EAST
SARASOTA, FL 34240
(941) 922-3480



LOCATION MAP

POINT BREAK SURVEYING, LLC

CERTIFICATE OF AUTHORIZATION LB 0007384

8111 Blaikie Ct, Suite E
Sarasota, FL 34240
Office: 941-378-4797
Fax: 941-378-0058

CERTIFICATION:
I HEREBY CERTIFY THAT THE AS-BUILT MEASUREMENTS SHOWN HEREON ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS SURVEYED IN THE FIELD UNDER MY DIRECTION, TOGETHER WITH AS-BUILT MEASUREMENTS FROM MARKERS POSITIONED AND INFORMATION PROVIDED BY CONTRACTOR.
DATE OF LAST FIELD MEASUREMENTS: 03/08/19

IMAGED AS IS



SHEET INDEX

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	AERIAL SITE PLAN
3	MASTER SITE PLAN
4	MASTER PAVING AND GRADING PLAN
5	MASTER DRAINAGE PLAN
6	MASTER UTILITY PLAN AND PLAN AND PROFILE SHEET INDEX
7-11	ROAD PLAN AND PROFILES
12-13	PAVING AND GRADING DETAILS
14-15	DRAINAGE DETAILS
16-17	WASTEWATER COLLECTION CONSTRUCTION DETAILS
18-19	LIFT STATION CONSTRUCTION DETAILS
20-21	WATER DISTRIBUTION CONSTRUCTION DETAILS
22	BEST MANAGEMENT PRACTICES PLAN
23	BEST MANAGEMENT PRACTICES DETAILS

SUPPLEMENTAL DRAWINGS:

S1	BOUNDARY SURVEY FOR WEST COAST LAND PARTNERS, LLC
LP-100	LANDSCAPE SHEET KEY PLAN
LP-101	LANDSCAPE PLANTING PLAN
LP-501	LANDSCAPE DETAILS
LP-601	LANDSCAPE NOTES

REVISIONS

NO.	DATE	DESCRIPTION	BY
▲	03/08/19	RECORD DRAWING	TER
▲	10/17/18	REVISED SHEET 4	MSC/98816
▲	8/24/18	REVISED PER 3-6, 11, 15 & 22	MSC/98816
▲	4/02/18	REVISED SHEET 5 & 15	RPC/116490
▲	3/28/18	REVISED SHEET 6	RPC/116490
▲	2/28/18	REVISED SHEETS 3, 4-5, 11, 12, 18-19 & NOTE 28	MSC/98816
▲	12/13/17	REVISED SHEETS 1-11	RPC/116490
▲	11/21/17	REVISED SHEETS 1, 3-11, 12, 15-16, 18 & 22	MSC/98816
▲	10/16/17	REVISED SHEETS 6-11, 16, 18	MSC/98816

STATUS : REVISIONS

PROJECT SURVEYOR ROBERT R. CUNNINGHAM, P.S.M.	PROJECT ENGINEER TYLER R. WILKINSON, E.I.	PROJECT MANAGER JOHN R. SCOTT, P.E. FLORIDA CERT. NO. 64669
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DATE _____ CHECKED BY _____

FOR

T/A
Southwest Florida
Water Management District
APR 10 2017 2:25 pm
HD
Received
Sarasota RSP LMC
14079.006

RESERVED FOR STATUS AND DATE STAMPS

PROJECT NUMBER
215613985

DATE MAY 2017	INDEX NUMBER RECORD DRAINAGE COVER
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